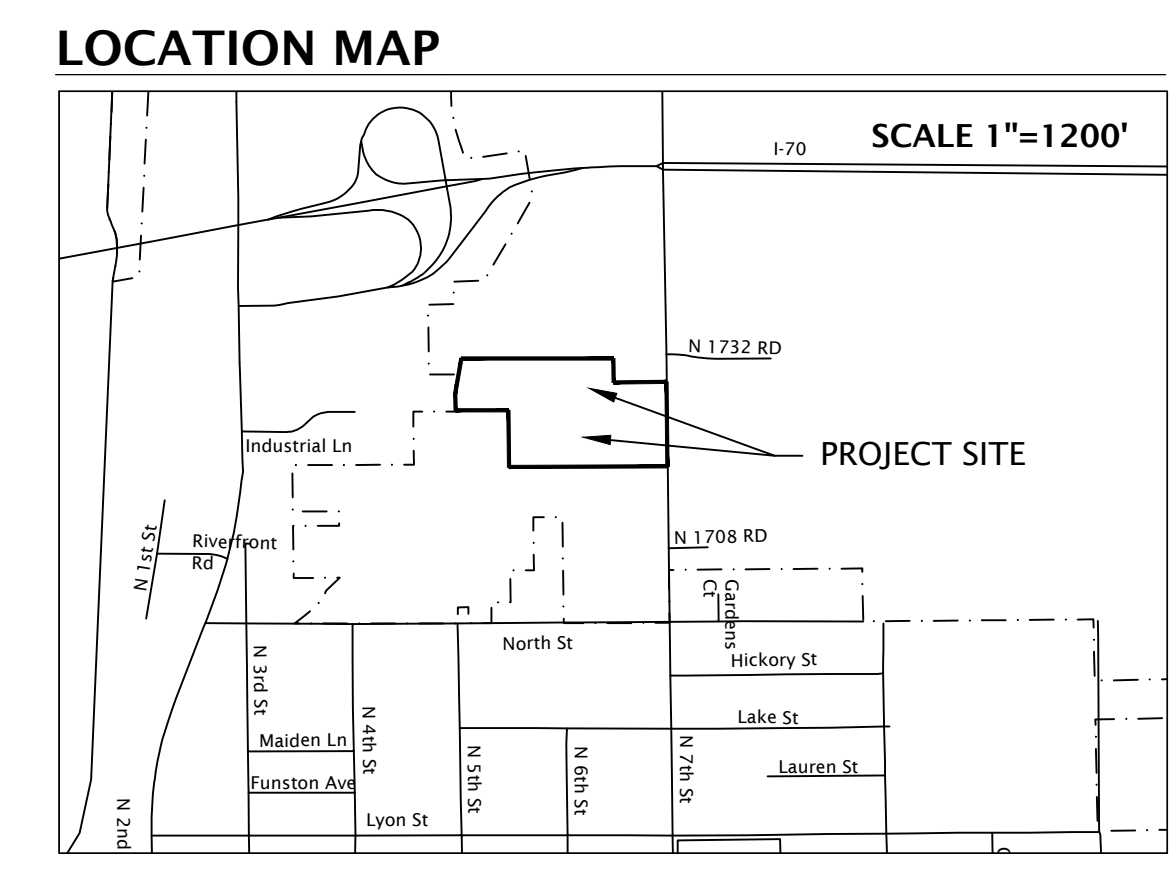
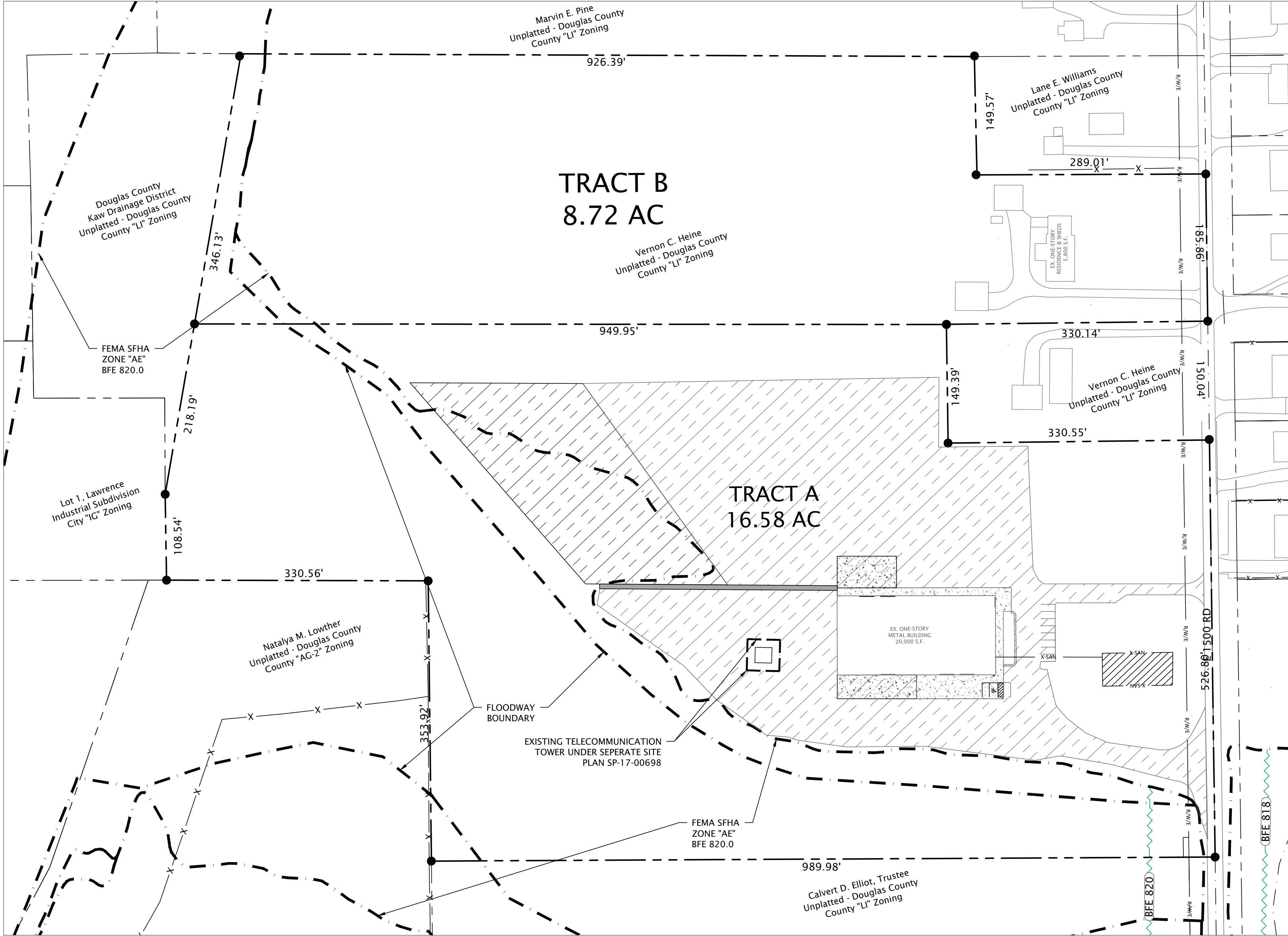


# SITE PLAN for AMERICAN EQUIPMENT SALES

**LEGAL DESCRIPTION - TRACT A**  
 A TRACT OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 12 SOUTH, RANGE 20 EAST OF THE SIXTH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, KANSAS, NOW DESCRIBED IN THE FOLLOWING PREPARED BY STEVEN D. WILLIAMS PS-1391 ON DECEMBER 20, 2023: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 02° 16' 51" WEST ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER, 972.31 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST LINE, NORTH 02° 16' 51" WEST, 526.80 FEET; THENCE SOUTH 87° 52' 26" WEST, 330.55 FEET; THENCE NORTH 02° 09' 19" WEST, 149.39 FEET; THENCE SOUTH 88° 32' 45" WEST, 949.95 FEET; THENCE SOUTH 08° 16' 37" WEST, 218.19 FEET TO A POINT ON THE EAST LINE OF LOT 1, REPLAT OF LOTS 2, 3, 4 AND 5 OF NORTH LAWRENCE INDUSTRIAL SUBDIVISION, A SUBDIVISION IN THE CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS; THENCE SOUTH 02° 25' 45" EAST ALONG SAID EAST LINE, 108.45 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 88° 39' 40" EAST, 330.56 FEET; THENCE SOUTH 02° 09' 22" EAST, 353.92 FEET; THENCE NORTH 88° 12' 21" EAST, 989.98 FEET TO THE POINT OF BEGINNING. THE ABOVE CONTAINS 16.58 ACRES, MORE OR LESS, ALL IN DOUGLAS COUNTY, KANSAS, SUBJECT TO PUBLIC ROAD RIGHT OF WAY AND EASEMENTS OF RECORD.

- GENERAL NOTES**
- OWNER: Vernon Clay Heine  
 1723 E 1500 Road  
 Lawrence, Kansas 66044
- Land Planner/Engineer: Grob Engineering Services, LLC  
 1223 Iowa Street  
 Lawrence, Kansas 66044
  - Aerial and topographic information obtained from aerial survey performed for the City of Lawrence and Douglas County 2022 and 2021.
  - Typical Soil Type: 7106 - Eudora-Bismarckgrove Silt Loams
  - Existing Land Use: Heavy Equipment Sales and Rentals (Legal Existing Nonconforming Use)  
 Contractor Shop/Yard  
 Equipment Storage (Heavy)  
 Exterior Storage  
 Wireless Facility (Permitted under Separate Site Plan SP-17-00698)
  - Proposed Land Use: Heavy Equipment Sales and Rentals (Legal Existing Nonconforming Use)  
 Contractor Shop/Yard  
 Equipment Storage (Heavy)  
 Exterior Storage  
 Manufacturing & Production, Light  
 Wireless Facility (Permitted under Separate Site Plan SP-17-00698)
  - Current Zoning: LI - Light Industrial
  - A portion of the property is located within the Special Flood Hazard Area (SFHA) Zone AE per FEMA Map # 20045C0176E Effective Date: September 2, 2015 with a Base Flood Elevation of 820.00. The remaining portion of the property is located within the Special Flood Hazard Area (SFHA) Zone X per FEMA Map # 20045C0176E Effective Date: September 2, 2015. The SFHA is delineated on this Site Plan.
  - Existing utility locations, elevations, and sizes are shown for reference only. No additional utilities will be constructed as part of this Site Plan.
  - This Site Plan has been designed to comply with the provisions of the Americans with Disabilities Act Accessibility Guidelines (ADAAG) for Buildings and Facilities, appendix A to 28 CFR, part 36.
  - Existing and proposed contours are shown on the plan to indicate general drainage patterns.
  - The existing septic waste lateral field will remain and no changes are proposed with this Site Plan.
  - National Geodetic Survey vertical benchmark is a disk marked "B 276 Reset 1956" set in a concrete headwall at the intersection of Highways 40, 59, and 24. The disk is 74.0 feet east of the center line of the northbound lane of Highway 59, in the top of the northeast end of the south headwall of a 6-foot concrete culvert, Elevation = 816.37 ft. On-site bench mark is "4" on the top of the south end of the west headwall of culvert under E 1400 Road, Elevation = 839.82 ft.
  - No additional water service will be required as part of this Site Plan.
  - No trash enclosure will be constructed as part of this Site Plan.
  - A variance has been granted from Douglas County Board of Zoning Appeals at their March 7, 2024 meeting (case 82A-2023-0004) to allow for gravel surfacing in lieu of the required asphalt or concrete pavement for all off-street parking spaces and access drives for non-residential uses taking access from adjoining roads paved with asphalt or concrete with the following stipulations (Pending):
    - This variance shall apply only to waive pavement standards for industrial uses for the building. Any expansion of the structure or addition of other nonresidential uses that increase the parking requirements will require another variance to be obtained from the Douglas County Board of Zoning Appeals;
    - The conditions of approval from SP-23-00216 shall continue to be maintained;
    - Americans with Disabilities Act parking shall be paved with asphalt or concrete.



**LEGEND**

— OHW —	— OHW —	OVERHEAD WIRE	⊕	SANITARY SEWER MANHOLE
— OHE —	— OHE —	OVERHEAD ELECTRICAL	⊕	STORM MANHOLE
— UGT —	— UGT —	UNDERGROUND TELEPHONE	⊕	STORM DRAIN
— GAS —	— GAS —	GAS	⊕	GUY ANCHOR
— W —	— W —	WATERLINE	⊕	UTILITY POLE
— SAN —	— SAN —	SANITARY SEWER LINE	⊕	WATER METER
— SS —	— SS —	SANITARY SEWER LATERAL	⊕	WATER VALVE
— STM —	— STM —	STORMWATER LINE	⊕	FIRE HYDRANT
— BSB —	— BSB —	BUILDING SETBACK	⊕	TRAFFIC SIGNAL STR.
—	—	SECTION LINE	⊕	GAS VALVE
—	—	CENTER LINE	⊕	GAS METER
—	—	PROPERTY LINE	⊕	LIGHT POLE
—	—	EASEMENT	⊕	SIGN
—	—	FEATURE LINE	⊕	ELECTRIC BOX
—	—	NO ACCESS TO LOT	⊕	CABLE TV BOX

NOTE: "X" IN UTILITY DENOTES EXISTING FEATURE

**PERVIOUS/IMPERVIOUS SURFACE SUMMARY**

EXISTING SUMMARY	AREA (SQ. FT.)	SUMMARY AFTER PROJECT COMPLETION	AREA (SQ. FT.)
EXISTING BUILDING	20,000	PROPOSED BUILDINGS	20,000
EXISTING PAVEMENT	7,622	PROPOSED PAVEMENT	13,632
EXISTING IMPERVIOUS	27,622	PROPOSED IMPERVIOUS	33,632
EXISTING GRAVEL	193,155	PROPOSED GRAVEL	237,461
EXISTING UNPAVED STORAGE AREA	50,316	PROPOSED UNPAVED STORAGE AREA	0
EXISTING GREENSPACE	451,122	PROPOSED GREENSPACE	451,122
EXISTING PERVIOUS	694,593	PROPOSED PERVIOUS	688,583
PROPERTY AREA	722,215		722,215
AREA IN SFHA	338,480		338,480
TOTAL EXTERIOR STORAGE	185,200±		207,600±

**PARKING SUMMARY**

PARKING REQUIREMENT	# EMPLOYEES	PARKING REQUIRED
VARIOUS INDUSTRIAL USES 1 SPACE PER EMPLOYEES ON LARGEST WORKING SHIFT	10	10 SPACES
PARKING PROVIDED		
TOTAL PARKING SPACES	11	
STANDARD SPACES	10	
ADA HANDICAP SPACES	1	

**PAVING SCHEDULE**

SYMBOL	AREAS AND PAVING MATERIAL
(SHADDED FOR CLARITY)	EXISTING AND PROPOSED GRAVEL SURFACING
(SHADDED FOR CLARITY)	EXISTING AND PROPOSED CONCRETE SURFACING

THIS DOCUMENT IS FOR PLANNING PURPOSES ONLY - NOT FOR CONSTRUCTION

**SHEET INDEX**

SP-1	SITE PLAN - OVERALL PLAN AND GENERAL INFORMATION
SP-2	SITE PLAN - ENLARGED LAYOUT & GRADING PLAN

Approved and Released

Case No. \_\_\_\_\_  
 Approval Date: \_\_\_\_\_  
 Release Date: \_\_\_\_\_  
 Planner: \_\_\_\_\_ of \_\_\_\_\_ Sheets  
 Asst./Director: \_\_\_\_\_

City of Lawrence  
 Douglas County  
 PLANNING & DEVELOPMENT SERVICES

**GES**  
**GROB ENGINEERING SERVICES, LLC**  
 1223 Iowa Street \* Lawrence, Kansas 66044  
 Phone 785 856-1900 \* Cell 785 766-3740  
 www.grobengineering.com

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**SITE PLAN for  
American Equipment Sales**  
 1723 E 1500 ROAD  
 LAWRENCE, KANSAS

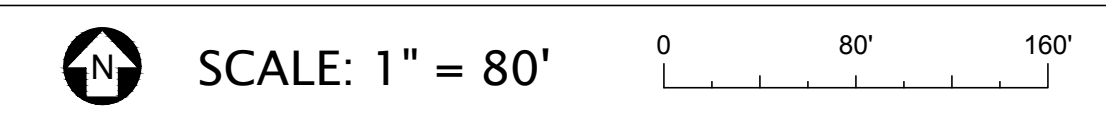
DESIGNED BY  
 JDG

CHECKED BY  
 JDG

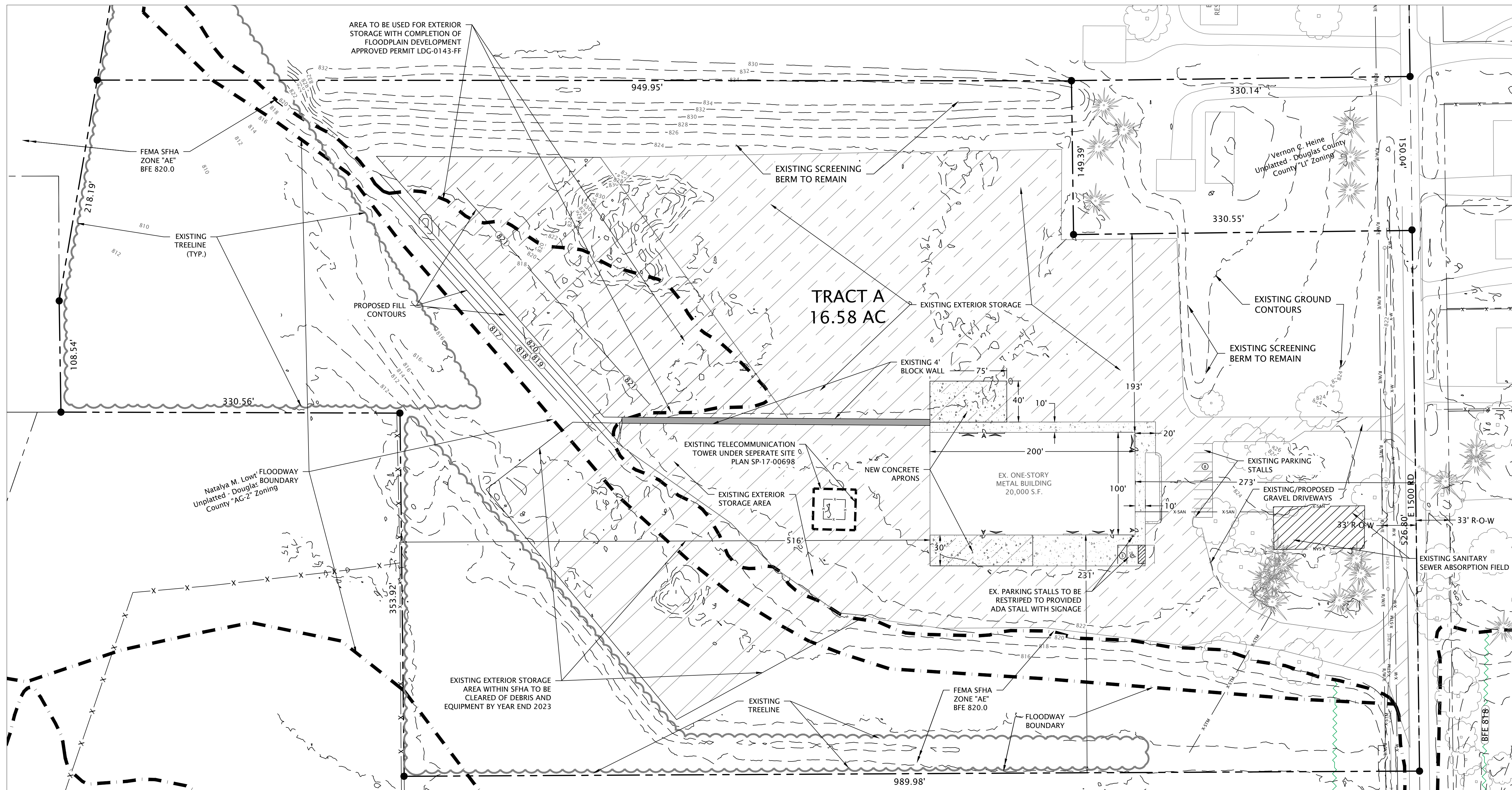
ISSUE DATE  
 NOVEMBER 17, 2021

REVISIONS  
 JANUARY 22, 2024

SHEET  
**SP1**







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**SITE PLAN for**  
**American Equipment Sales**  
 1723 E 1500 ROAD  
 LAWRENCE, KANSAS

DESIGNED BY  
 JDG

CHECKED BY  
 JDG

ISSUE DATE  
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REVISIONS  
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 \_\_\_\_\_ of \_\_\_\_\_ Sheets  
 Asst./Director: \_\_\_\_\_

PAVING SCHEDULE	
SYMBOL (SHADED FOR CLARITY)	AREAS AND PAVING MATERIAL
	EXISTING AND PROPOSED GRAVEL SURFACING
	EXISTING AND PROPOSED CONCRETE SURFACING

Approved and Released  
  
 City of Lawrence  
 Douglas County  
 PLANNING & DEVELOPMENT SERVICES